

BASEMENT OR INTERIOR REMODELING PERMIT REQUIREMENTS

The following information must be submitted to the Zoning administrator before a building permit can be processed and approved.

- 1. Building Permit Application Form**
- 2. Building plans (two copies)**
- 3. Description of work**

- 1. Building Permit Application:** Complete a Building Permit Application Form. Applications are available in this packet and on line.
- 2. Building Plans (two copies):** Floor Plan showing length and width of each floor and room dimensions, finished and unfinished areas, interior walls, beams, existing walls. Walls being removed, plumbing and mechanical fixtures and indicate on the floor plan how each area will be used, (bedroom, recreation room, etc.)
- 3. Description of use:** Provide a detailed written description of the work being done.

Note: If the project increases the number of bedrooms in the structure a Septic System Certificate of Compliance may be required.

If you have any questions, please contact the Zoning Administrator Monday through Friday, 8 AM to 4:30 PM at:

Township Zoning Office
Jim Braun, Zoning Administrator
2428-115th Avenue
Princeton, Minnesota 55371-6200

Office: (763) 389-3487
Cellular: (612) 282-9496
Toll Free: 1-800-851-3383
Fax: (763) 389-9587

PLANNING & ZONING DEPARTMENT

Jim Braun, Zoning Administrator
2428-115th Avenue
Princeton, Minnesota 55371-6200

Metro (763) 389-3487
Out State 1-800-851-3383
Cellular (612) 282-9496
Fax (763) 389-9587

Identify all General Contractors and Sub-Contractors to be performing work on this project:

	<i>Name</i>	<i>Phone No:</i>	<i>License No:</i>
A. Architect or Engineer:			
B. General:			
C. Excavator:			
D. Masonry:			
E. Carpentry:			
F. Roofing:			
G. Insulation:			
H. Sheetrock:			
I. Plumbing:			
J. Heating:			
K. Septic:			
L. Well Driller:			
M. Electrical:			

I, the undersigned, do hereby agree, in the case that a permit is granted, that all work shall be done and all materials that are used shall comply with the plans and specifications herewith submitted, and with all ordinances and building codes.

Signature of applicant: _____ Date: _____

Permit Number: _____

Parcel Number: _____

Property Owner Waiver

Minnesota State Contractor Licensing Requirements

The purpose of this form is to have property owners acknowledge their responsibilities to the Minnesota State Building Code, to Zoning Ordinances, and to other applicable rules and regulations when they are acting as general contractor in building projects.

I understand that the State of Minnesota requires that all Residential Building Contractors, Remodelers, and Roofers, obtain a State License unless they qualify for a specific exemption from the licensing requirements. By signing this waiver, I attest to the fact that I am building or improving my property by myself. I claim to be exempt from the State License requirements because I am not in the business of building on speculation or for resale and this is the first residential structure that I have built or improved in the past 24 months.

I acknowledge that because I do not have a State License, I forfeit any mechanic's lien rights to which I may otherwise have been entitled under Minnesota State Statute 514.01.

I acknowledge that I may be hiring independent contractors to perform certain aspects of the construction or improvement of this property. Some of these contractors may be required to be licensed by the State of Minnesota. I understand that unlicensed residential contracting, remodeling, and/or roofing activity is a misdemeanor under Minnesota State Statute 326.92, subdivision 1, and that I forfeit my rights to reimbursement from the Contractor's Recovery Fund in the event that any contractors that I hire are unlicensed.

I also acknowledge that as the contractor on this project, I am solely and personally responsible for any violations of the State Building Code and/or jurisdictional Ordinance in connection with the work performed on this property.

Signature or Property Owner

Project Address

Date

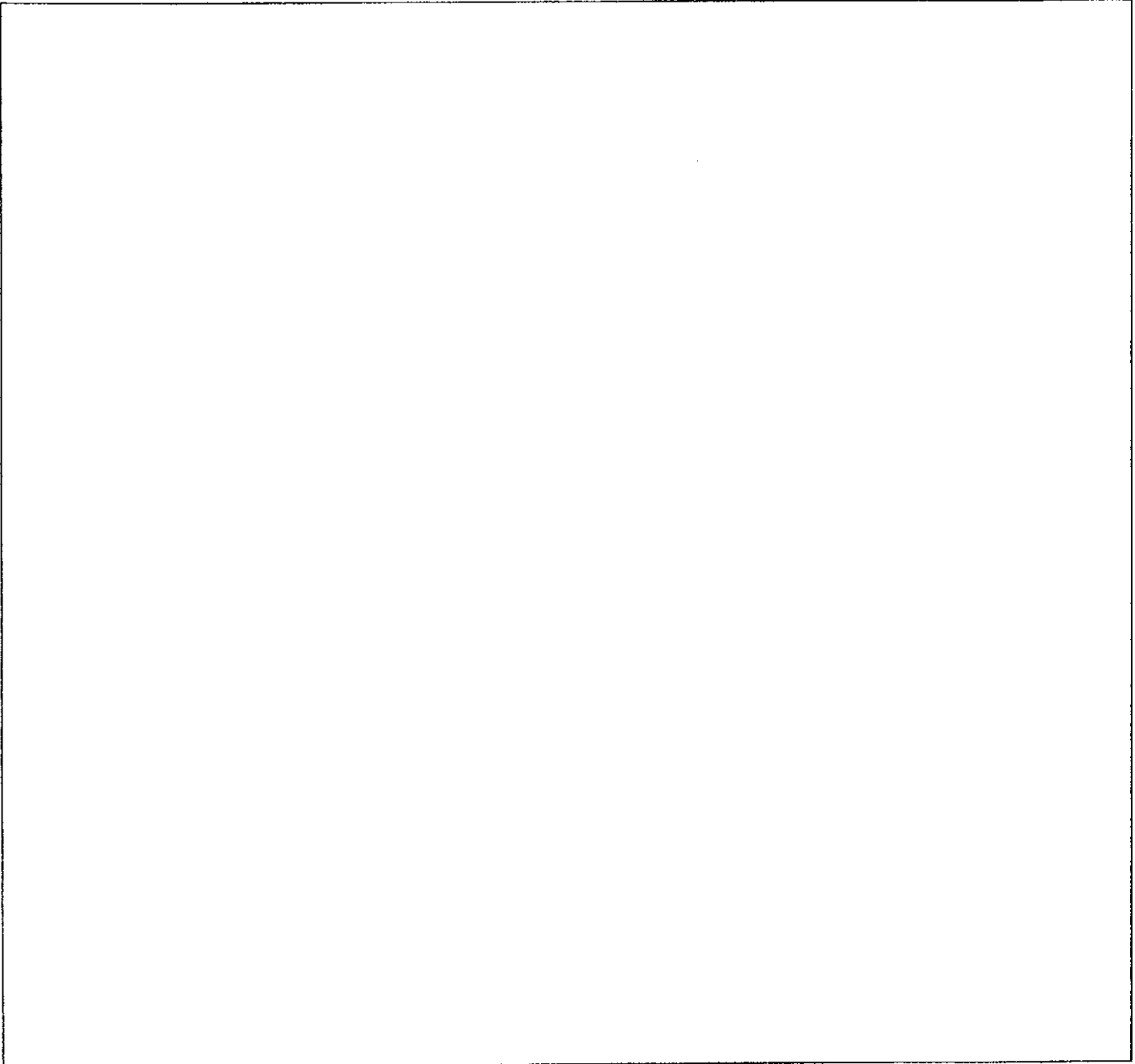
Please return this signed waiver with the Building Permit Application.

To determine whether a particular contractor is required to be licensed, or to check on the licensing status of an individual contractor, call the Minnesota Department of Commerce, Enforcement Division at 651/296-2594, or toll-free at 1-800/657-3602.

SITE PLAN

- Property Lines
- North Arrow

- Scale of Drawing: 1 square = ____
_____ feet



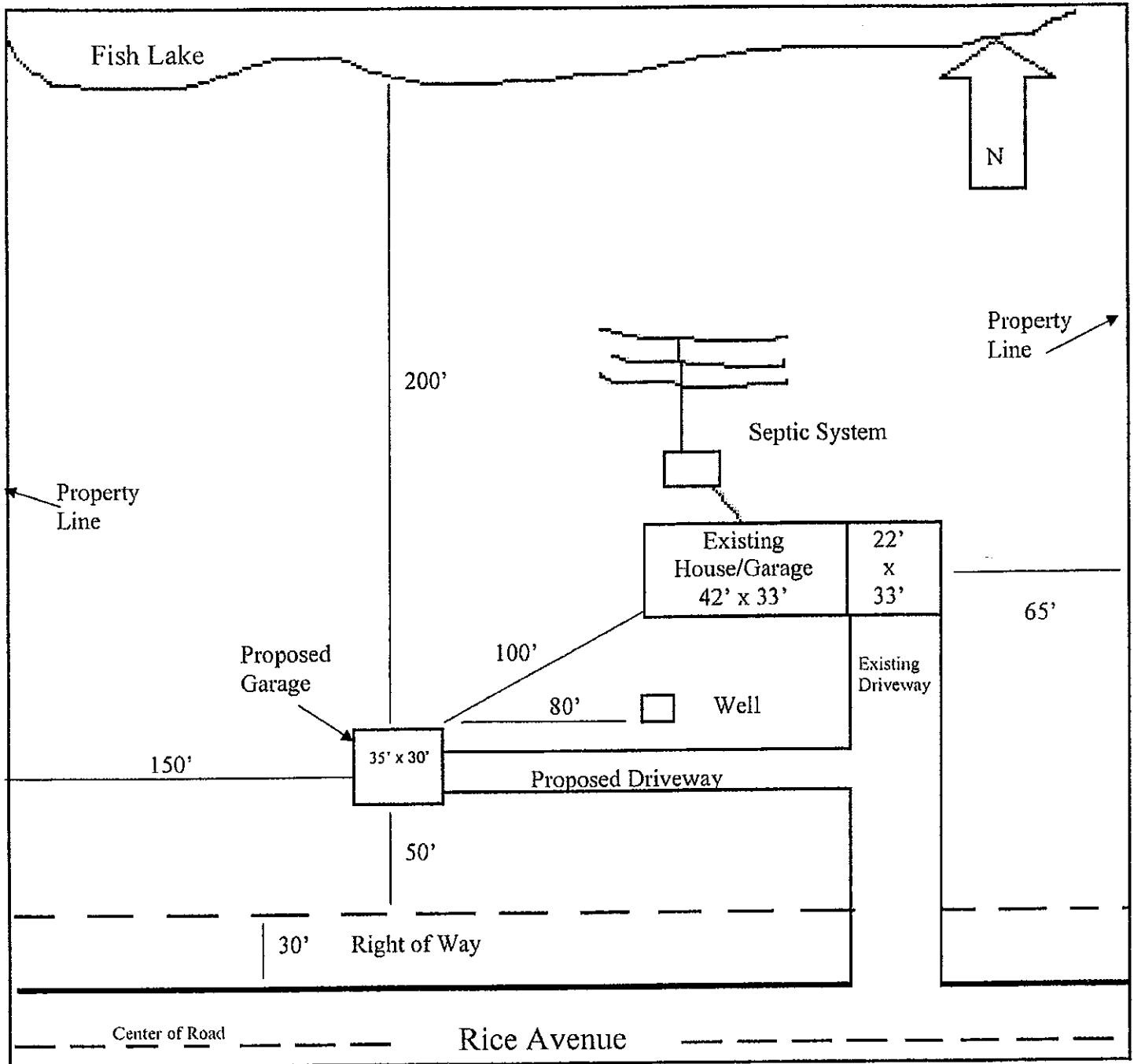
Check box when complete:

- | | |
|---------------------------------------------------------------------------------------------|-----------------------------------------------------------------------|
| <input type="checkbox"/> Soils information | <input type="checkbox"/> Traffic generation |
| <input type="checkbox"/> Lakes, streams and wetlands | <input type="checkbox"/> Landscape plan including existing vegetation |
| <input type="checkbox"/> Existing land uses onsite and neighboring properties | <input type="checkbox"/> Roads labeled, access to lot/driveway |
| <input type="checkbox"/> Areas subject to flooding | <input type="checkbox"/> Sewage treatment plans |
| <input type="checkbox"/> Existing and proposed structures, building footprints and setbacks | <input type="checkbox"/> Storm water and Erosion Control plans |
| | <input type="checkbox"/> Working and abandoned wells |

SAMPLE SITE PLAN

- Property Lines
- North Arrow

Scale of Drawing: 1 square = _____ feet



Check box when complete:

- | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> <input type="checkbox"/> Soils information <input type="checkbox"/> Lakes, streams and wetlands <input type="checkbox"/> Existing land uses onsite and neighboring properties <input type="checkbox"/> Areas subject to flooding <input type="checkbox"/> Existing and proposed structures, building footprints and setbacks | <ul style="list-style-type: none"> <input type="checkbox"/> Traffic generation <input type="checkbox"/> Landscape plan including existing vegetation <input type="checkbox"/> Roads labeled, access to lot/driveway <input type="checkbox"/> Sewage treatment plans <input type="checkbox"/> Storm water and Erosion Control plans <input type="checkbox"/> Working and abandoned wells |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|



Minnesota State Contractor License Law

Notice to Homeowners: Be Sure Your Contractor is Licensed

Know Your Rights

The State of Minnesota recently adopted a statewide "*Contractor and Remodeler License Law*." This law is designed to protect the consumer by requiring that contractors be licensed with the State. Contractors must apply to the State, post a bond, and show proof of insurance and competency. The law gives homeowners reasonable assurance that they are dealing with a reputable, professional contractor, and a place they can call to get general contractor information.

Getting Information on a Contractor

Contractors, with a few exceptions, who contract with a homeowner to perform home construction, remodeling, or repair, must be licensed with the Minnesota Department of Commerce. Homeowners can call the Commerce Department Licensing Division at 1-800-657-3602, 651-296-2488 or visit the web site @ www.commerce.state.mn.us to obtain information on a specific contractor. Contractors must display their license number on their advertising and they must make it available to consumers. Building permits cannot be granted to contractors who are not properly licensed by the state.

Exceptions to Being Licensed

State law exempts contractors who have gross annual receipts from the construction business of less than \$15,000.00. Also exempt are specialty contractors who perform only one specialty skill.


Homeowner Rights if a Contractor is Not Licensed

If your contractor is required to be licensed by the State of Minnesota and you find that he/she is not, you may still have recourse under the law. Generally, the law provides that a contractor who is working in violation of the Minnesota State License Law has no lien rights and may not be able to enforce a contract signed with a homeowner. If you find yourself in this situation, you should consult with an attorney to get sound legal advice. You should never knowingly hire someone who is deliberately violating the State License Law.

Working on Your Own Home

You can obtain permits to do work on your own home. The License Law was written to insure a reasonable degree of protection for you as the consumer of construction services, not to discourage homeowners from doing work on their own property. For your safety, building permits are required for most construction projects.

For more information on State Licensing, contact the
Minnesota Department of Commerce at 800/657-3602 or 651/296-2594





MINNESOTA DEPARTMENT OF
LABOR & INDUSTRY

Department of Labor and Industry
Construction Codes and Licensing Division
443 Lafayette Road N.
St. Paul, MN 55155

Phone: (651) 284-5012 or 1-800-657-3944
TTY: (651) 297-4198 Fax: (651) 284-5749

The State of Minnesota adopts a set of construction standards known as the Minnesota State Building Codes (MSBC). The MSBC contains safety requirements relating to structure, mechanical, plumbing, energy, electrical, elevators, manufactured buildings and life safety.


The information in this brochure is for general reference for residential construction projects. Contact your municipal building official regarding permits and specific code requirements for residential construction within your community.

To confirm if your contractor is licensed in Minnesota contact the:

Department of Labor and Industry
Residential Building Contractors
Phone: (651) 284-5069 or 1-800-657-3944
www.dli.state.mn.us/contractor.html
E-mail: DLI.Contractors@state.mn.us

www.dli.state.mn.us
www.mn.codes.org

96-47



Gopher State One Call
Call at least two full business days before you dig.
Phone: 811 or (651) 454-0002
www.call811.com

SMOKE ALARMS and CARBON MONOXIDE DETECTORS

*Guidelines for placement
and use of smoke alarms
and carbon monoxide
detectors.*



Why are smoke alarms required?

Fire deaths occur in residential buildings more than in any other building type. More than half of all fire deaths in residential buildings occur while the occupants are asleep and are unaware. Death usually results from asphyxiation, long before the fire reaches the occupants.

Smoke alarms installed in a home give an early warning of smoke and give the occupants the critical few moments needed to escape.

To address the loss of life in residential buildings, the Minnesota State Building Code (MSBC) has requirements for the installation of smoke alarms in a home. The 2007 MSBC adopts the 2006 International Residential Code (2006 IRC). All "R" code references provided in this brochure pertain to the 2006 IRC.

In general, the code requires that smoke alarms be provided on each floor of a dwelling and in the corridor giving access to bedrooms and in bedrooms. Alarms in new construction must receive their power from the building wiring and have a battery backup in the event of electrical power loss. During remodeling, where connection to the building wiring is difficult to achieve, battery-operated alarms may be used (R313.1.1).

An important feature of the requirement for alarms being connected into the building's electrical wiring is there must be no disconnecting means other than the primary over current protection (fuse or circuit breaker). Alarms must be wired directly into the building's wiring system and no switches, plugs or mechanical disconnects are permitted between the electric service panel and the alarm.

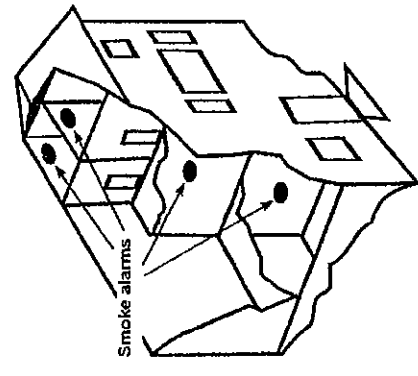
Specific code requirements

General

Dwelling units, congregate residences and hotel or lodging guests rooms that are used for sleeping purposes must be provided with smoke alarms. Alarms must be installed in accordance with the approved manufacturer's instructions.

Power source

In new construction, the required smoke alarms shall receive their primary power from the building wiring when such wiring is served from a commercial source. When primary power is interrupted, smoke alarms shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for overcurrent protection. Smoke alarms shall be permitted to be battery operated when installed in buildings without commercial power or in buildings that undergo alterations, repairs or additions regulated by R313.3.



Smoke alarms



Smoke detection and notification

All smoke alarms shall be listed in accordance with Underwriters Laboratory 217 and installed in accordance with the provisions of this code and the household fire warning equipment provisions of National Fire Protection Agency (NFPA) 72.

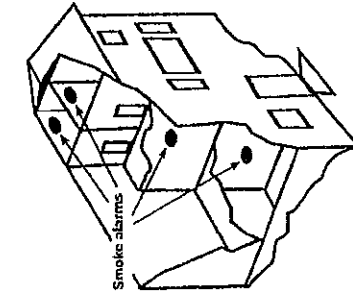
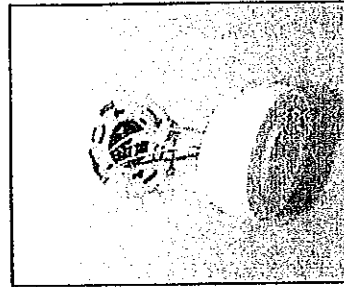
Household fire alarm systems installed in accordance with NFPA 72 that include smoke alarms, or a combination of smoke detector and audible notification device installed as required by this section for smoke alarms, shall be permitted. The household fire alarm system shall provide the same level of smoke detection and alarm as required by this section for smoke alarms in the event the fire alarm panel is removed or the system is not connected to a central station (R313.1).

Smoke alarms shall be installed in the following locations:

1. In each sleeping room.
2. Outside each separate sleeping area in the immediate vicinity of the bedrooms.
3. On each additional story of the dwelling, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.

When more than one smoke alarm is required to be installed within an individual dwelling unit, the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit.

All smoke alarms shall be listed and installed in accordance with the provisions of this code and the household fire warning equipment provisions of NFPA 72 (R313.2).



Alterations, repairs and additions

When alterations, repairs or additions requiring a permit occur, or when one or more sleeping rooms are added or created in existing dwellings, the individual dwelling unit shall be equipped with smoke alarms located as required for new dwellings. The smoke alarms shall be interconnected and hard wired.

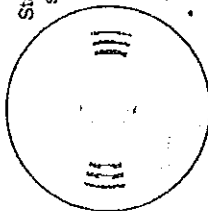
Exceptions:

1. Interconnection and hardwiring of smoke alarms in existing areas shall not be required to be hardwired where the alterations or repairs do not result in the removal of interior wall or ceiling finishes exposing the structure.
2. Work on the exterior surfaces of dwellings, such as the replacement of roofing or siding are exempt from the requirements of this section.
3. Permits involving alterations or repairs to plumbing, electrical and mechanical are exempt from the requirements of this section (R313.2.1).

Carbon monoxide alarms alert residents of a toxic, odorless gas

Carbon monoxide (CO) is a toxic, colorless, odorless gas that is formed as a product of the incomplete combustion of carbon or a carbon compound. Poisoning is caused by inhalation of CO. There are many symptoms for CO poisoning including headache, nausea, confusion and shortness of breath. These can lead to convulsion, unconsciousness, coma and death.

CO is produced by combustion engine exhaust, portable propane heaters, barbecues burning charcoal and portable or non-vented natural gas appliances.



State law requires CO detectors be placed in new and existing residential structures in Minnesota where building permits are obtained. The requirement is found at Minnesota Statutes, § 269F.50.

The CO detector effective dates are:

- Jan. 1, 2007: All new residential buildings
- Aug. 1, 2008: Existing single-family homes
- Aug. 1, 2009: Multi-family dwellings

The Department of Public Safety, State Fire Marshal Division lists the code requirements online at www.fire.state.mn.us or call (651) 201-7200 for more information.

Smoke detector is just one part of emergency escape plan

A smoke detector is just one part of an emergency escape safety plan. Everyone in the residence should know what a smoke detector alarm sounds like and practice what to do when the alarm is activated, especially if a fire occurs in the middle of the night and no lights are available to aid escape.

When a fire occurs, time is critical to survival. Be sure to select a safe place where everyone can meet after escaping such as a mailbox or sidewalk. Never go back into a burning building for any reason. More fire safety tips are online at www.firesafety.gov.

