

DECK PERMIT REQUIREMENTS

The following information must be submitted to the Building Department before a building permit can be processed and approved. A more detailed description of items 1-4 is listed below.

1. Building Permit Application form.
2. Survey or Site Plan [two copies].
3. Building Plans [two copies].
4. Miscellaneous as required.

After a preliminary review additional information may be required. Allow 5-10 working days for processing.

1. Building Permit Application: Complete and sign a building permit application form. Forms are available at the Building Department.

2. Survey or Site Plan: Provide an updated plan of the property showing all property lines, existing buildings [with dimensions] and project address or PIN number. Diagram the proposed building location, dimensions and proposed setbacks from property lines, existing buildings and all topographical features. a registered survey may be required.

3. Building Plans [two sets]:

A. Section drawing [side, cutaway drawing] showing the footing width and thickness, post size, joist size, beam size, decking, height above grade, guardrail, cantilevers [overhang], anchoring, flashing, connectors and hanger types, include grade and species of lumber.

B. Floor Plans of the deck showing the length and width of the deck, beam location, post spacing, joist spacing, stair location and type of lumber [pressure treated, redwood, cedar etc.].

4. Miscellaneous:

Permit Fees: Building and Zoning fees will be determined after the application and required plans have been approved. Fees must be paid in full before a permit can be issued or work can begin.

General Information

Required Inspections:

1. Footing inspection [before concrete is poured].
2. Framing/Final

Footings/Posts: Footing must be a minimum 42" below grade. The base of the footing must be wide enough to transfer the weight of the deck to the soil to determine minimum footings (s). Posts must be pressure treated, redwood, cedar, concrete or other approved material.

Framing: The joists and beams must be sized to support a 40 lb. per square foot live load.

Guard: Residential decks 30" or more about the adjacent grade must be protected by a guard with a minimum height of 36". Open guardrails shall have intermediate rails or ornamental pattern such that a 4" (four inch) sphere cannot pass through.

Stairs/Residential: The minimum width of the stairway is 36" inches in width. The maximum rise on the stairs is 8". The minimum run of the treads is 9". A handrail is required on all stairs with four or more risers. Open risers are permitted, provided that the opening between treads does not permit the passage of a 4-inch sphere.

Handrails: A handrail is required on one side of a stairs with four or more risers. The handrail must be 34" to 38" high, be contiguous and uninterrupted the full length of the stairs. The handgrip portion of the handrail shall not be less than 1-1/4" no more than 2-5/8" in diameter. The ends of the handrail shall be returned or terminate in a newal post or safety terminal.

Special Design Note: Some designs may not be appropriate if a future porch, addition or hot tub is intended to be installed on the deck. Footings, beams and joists should be sized for all future loads.

Electrical: wiring must be inspected and approved by a State Electrical Inspector. To request an inspection or to answer electrical questions call: Randy Edel at telephone number (507) 334-3748. Call between 7:00 am and 8:30 am, Monday through Friday.

Excavations: Before excavating call Gopher State One, forty-eight hours in advance at (651) 454-3450 or Greater Minnesota; 1-8009-252-1166 to verify the location of underground utilities, etc.

If you have any questions, please contact the Planning and Zoning Department Monday – Friday, 8:00 am to 4:30 pm at:

**Bridgewater Township
Office of Planning & Zoning
2428-115th Avenue
Princeton, Minnesota 55371**

**Outstate: 1-800-851-3383
Metro Area: 763-389-3487**

BUILDING PERMIT APPLICATION

PERMIT #
TOWNSHIP

TOWNSHIP ZONING OFFICE
2428-115TH AVENUE
PRINCETON, MINNESOTA 55371
OFFICE (763) 389 3487 1-800-851-3383
FAX (763) 389-9587

PIN #
FIRE #

GENERAL INFORMATION TO BE COMPLETED BY APPLICANT							
PROPERTY ADDRESS							
LEGAL DESCRIPTION							
SEC	TWP	RANGE	LOT	BLOCK	SUBDIVISION OR QTR/QTR	ACRES	
NOTE: IF PROPERTY IS A METES AND BOUNDS DESCRIPTION ATTACH COPY OF EXACT LEGAL							
PROPERTY OWNER NAME			ADDRESS-CITY, STATE, ZIP			(TEL. NO.)	
						HM.	
CONTRACTOR NAME			ADDRESS		STATE LICENSE NO.	(TEL. NO.)	
ARCHITECT/DESIGNER			ADDRESS			(TEL. NO.)	
TYPE OF WORK							
<input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> REPAIR <input type="checkbox"/> MOVE <input type="checkbox"/> REMOVE							
TYPE OF STRUCTURE							
<input type="checkbox"/> SINGLE FAMILY <input type="checkbox"/> ACCESSORY <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> OTHER							
USE OF BUILDING							
TYPE OF WORK							
<input type="checkbox"/> WOOD FRAME <input type="checkbox"/> MASONRY <input type="checkbox"/> METAL <input type="checkbox"/> POLE TYPE <input type="checkbox"/> PRE FAB <input type="checkbox"/> OTHER							
TOTAL SQUARE FEET			ESTIMATED VALUE OF WORK			TYPE OF HEATING SYSTEM	
			\$				

I HEREBY APPLY FOR A BUILDING PERMIT AND ACKNOWLEDGE THAT THE INFORMATION ABOVE IS COMPLETE AND ACCURATE; THAT THE WORK WILL BE IN CONFORMANCE WITH THE ORDINANCES AND CODES AND WITH THE MINNESOTA BUILDING CODES; THAT I UNDERSTAND THIS IS NOT A PERMIT BUT ONLY AN APPLICATION FOR A PERMIT AND WORK IS NOT TO START WITHOUT A PERMIT; THAT THE WORK WILL BE ACCORDANCE WITH THE APPROVED PLAN.

NAME OF APPLICANT _____ DATE _____

OFFICE USE ONLY					
ZONING ADMINISTRATOR					
<input type="checkbox"/> APPROVED <input type="checkbox"/> DENIED					DATE
SUBJECT TO EXISTING REGULATIONS AND THE FOLLOWING MINIMUM SETBACKS:					
ROAD ROW	CENTERLINE ROAD	SIDE YARD	REAR YARD	LAKE/RIVER	BLUFFLINE
DISTRICT	COMMENTS				

BUILDING OFFICIAL			BUILDING PERMIT\$ _____ PLAN REVIEW FEE _____ STATE SURCHARGE _____ SEWER PERMIT..... _____ PENALTY..... _____ OTHER _____ TOTAL\$ _____		
<input type="checkbox"/> APPROVED <input type="checkbox"/> DENIED					
BUILDING OFFICIAL VALUATION					
USE	OCCUPANCY				
TYPE OF CONST.	TOTAL SQ. FT.				
NO STORIES	SPRINKLER REQUIRED	OCC. LOAD			
	<input type="checkbox"/> YES <input type="checkbox"/> NO				
COMMENTS:					

Permit Number: _____

Parcel Number: _____

Property Owner Waiver Minnesota State Contractor Licensing Requirements

The purpose of this form is to have property owners acknowledge their responsibilities to the Minnesota State Building Code, to Zoning Ordinances, and to other applicable rules and regulations when they are acting as general contractor in building projects.

I understand that the State of Minnesota requires that all Residential Building Contractors, Remodelers, and Roofers, obtain a State License unless they qualify for a specific exemption from the licensing requirements. By signing this waiver, I attest to the fact that I am building or improving my property by myself. I claim to be exempt from the State License requirements because I am not in the business of building on speculation or for resale and this is the first residential structure that I have built or improved in the past 24 months.

I acknowledge that because I do not have a State License, I forfeit any mechanic's lien rights to which I may otherwise have been entitled under Minnesota State Statute 514.01.

I acknowledge that I may be hiring independent contractors to perform certain aspects of the construction or improvement of this property. Some of these contractors may be required to be licensed by the State of Minnesota. I understand that unlicensed residential contracting, remodeling, and/or roofing activity is a misdemeanor under Minnesota State Statute 326.92, subdivision 1, and that I forfeit my rights to reimbursement from the Contractor's Recovery Fund in the event that any contractors that I hire are unlicensed.

I also acknowledge that as the contractor on this project, I am solely and personally responsible for any violations of the State Building Code and/or jurisdictional Ordinance in connection with the work performed on this property.

Signature of Property Owner

Project Address

Date

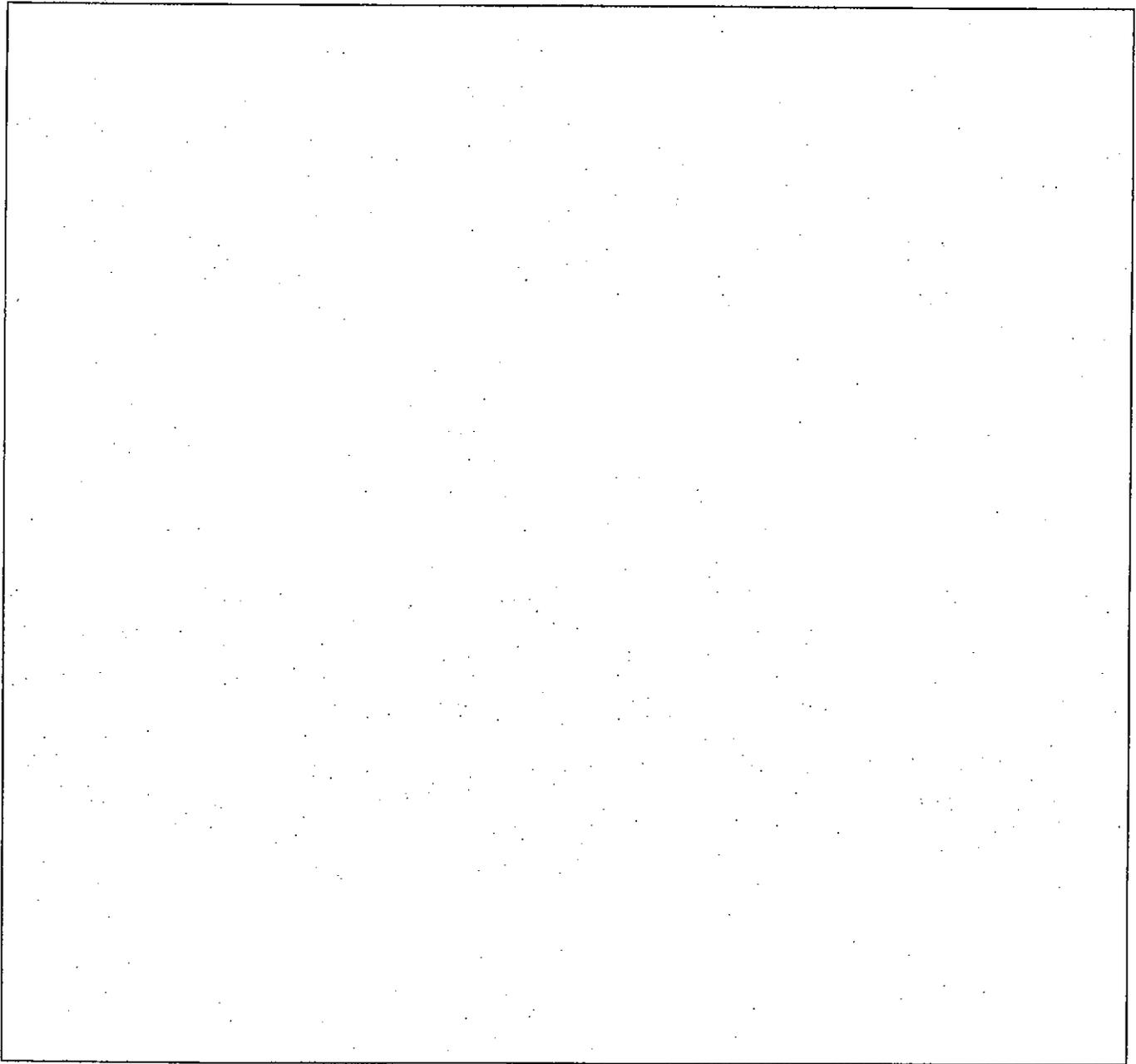
Please return this signed waiver with the Building Permit Application.

To determine whether a particular contractor is required to be licensed, or to check on the licensing status of an individual contractor, call the Minnesota Department of Commerce, Enforcement Division at 651/296-2594, or toll-free at 1-800/657-3602.

SITE PLAN

- Property Lines
- North Arrow

Scale of Drawing: 1 square = ____
_____ feet



Required Information as per Section 505.16 of the Rice County Zoning Ordinance – Can be submitted on separate sheet

Check box when complete:

- | | |
|---|---|
| <input type="checkbox"/> Soils information | <input type="checkbox"/> Landscape plan including existing vegetation |
| <input type="checkbox"/> Lakes, streams and wetlands | |
| <input type="checkbox"/> Existing land uses onsite and neighboring properties | <input type="checkbox"/> Roads labeled, access to lot/driveway |
| <input type="checkbox"/> Areas subject to flooding | <input type="checkbox"/> Sewage treatment plans |
| <input type="checkbox"/> Existing and proposed structures, building footprints and setbacks | <input type="checkbox"/> Storm water and Erosion Control plans |
| <input type="checkbox"/> Traffic generation | <input type="checkbox"/> Working and abandoned wells |

Beam and Footing Sizes

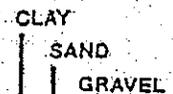
Based on No. 2 or better Ponderosa Pine and Southern Pine
Treated for weather and/or ground exposure

		Post Spacing										
		4'	5'	6'	7'	8'	9'	10'	11'	12'	13'	14'
6'	Southern Pine Beam	1-2x6	1-2x6	1-2x6	2-2x6	2-2x6	2-2x6	2-2x8	2-2x8	2-2x10	2-2x10	2-2x10
	Ponderosa Pine Beam	1-2x6	1-2x6	1-2x8	2-2x8	2-2x8	2-2x8	2-2x10	2-2x10	2-2x10	2-2x12	2-2x12
	Corner Footing	6 5 4	7 5 5	7 6 5	8 7 6	9 7 6	9 7 6	10 8 7	10 8 7	10 9 7	11 9 8	11 9 8
Intermediate Footing		9 8 7	10 8 7	10 9 7	11 9 8	12 10 9	13 10 9	14 11 10	14 12 10	15 12 10	15 13 11	16 13 11
7'	Southern Pine Beam	1-2x6	1-2x6	1-2x6	2-2x6	2-2x6	2-2x8	2-2x8	2-2x10	2-2x10	2-2x10	2-2x12
	Ponderosa Pine Beam	1-2x6	1-2x6	1-2x8	2-2x8	2-2x8	2-2x10	2-2x10	2-2x10	2-2x10	2-2x12	3-2x10
	Corner Footing	7 5 5	7 6 5	8 7 6	9 7 6	9 8 7	10 8 7	10 8 7	11 9 8	11 9 8	12 10 9	12 10 9
Intermediate Footing		9 8 7	10 8 7	11 9 8	12 10 9	13 11 9	14 11 10	15 12 10	15 13 11	16 13 11	17 14 12	17 14 12
8'	Southern Pine Beam	1-2x6	1-2x6	2-2x6	2-2x6	2-2x8	2-2x8	2-2x8	2-2x10	2-2x10	2-2x12	2-2x12
	Ponderosa Pine Beam	1-2x6	2-2x6	2-2x8	2-2x8	2-2x8	2-2x10	2-2x10	2-2x10	3-2x10	3-2x10	3-2x12
	Corner Footing	7 5 5	8 6 6	9 7 6	9 8 7	10 8 7	10 8 7	11 9 8	11 9 8	12 10 9	13 10 9	13 11 9
Intermediate Footing		10 8 7	11 9 8	12 10 9	13 11 9	14 11 10	15 12 10	16 13 11	16 13 12	17 14 12	18 15 13	18 15 13
9'	Southern Pine Beam	1-2x6	1-2x6	2-2x6	2-2x6	2-2x8	2-2x8	2-2x10	2-2x10	2-2x12	2-2x12	3-2x10
	Ponderosa Pine Beam	1-2x6	2-2x6	2-2x8	2-2x8	2-2x10	2-2x10	2-2x10	3-2x10	3-2x10	3-2x12	3-2x12
	Corner Footing	7 6 5	8 7 6	9 7 6	10 8 7	10 9 7	11 9 8	12 10 8	12 10 9	13 10 9	13 11 9	14 11 10
Intermediate Footing		10 9 7	12 10 8	13 10 9	14 11 10	15 12 10	16 13 11	17 14 12	17 14 12	18 15 13	19 15 13	20 15 14
10'	Southern Pine Beam	1-2x6	1-2x6	2-2x6	2-2x6	2-2x8	2-2x8	2-2x10	2-2x12	2-2x12	3-2x10	3-2x10
	Ponderosa Pine Beam	1-2x6	1-2x6	2-2x8	2-2x8	2-2x10	2-2x10	2-2x10	3-2x10	3-2x12	3-2x12	Eng 5m
	Corner Footing	8 6 5	9 7 6	10 8 7	10 8 7	11 9 8	12 10 8	12 10 9	13 11 9	14 11 10	14 12 10	15 12 10
Intermediate Footing		11 9 8	12 10 9	14 11 10	15 12 10	16 13 11	17 14 12	17 14 12	18 15 13	19 16 14	20 16 14	21 17 15
11'	Southern Pine Beam	1-2x6	2-2x6	2-2x6	2-2x8	2-2x8	2-2x10	2-2x10	2-2x12	2-2x12	3-2x10	3-2x12
	Ponderosa Pine Beam	2-2x6	2-2x6	2-2x8	2-2x8	2-2x10	2-2x10	2-2x12	2-2x12	3-2x10	3-2x12	Eng 5m
	Corner Footing	8 7 6	9 7 6	10 8 7	11 9 8	12 9 8	12 10 9	13 11 9	14 11 10	14 12 10	15 12 10	15 13 11
Intermediate Footing		12 9 8	13 11 9	14 12 10	15 12 10	16 13 11	17 14 12	17 14 12	18 15 13	19 16 14	20 16 14	21 17 15
12'	Southern Pine Beam	1-2x6	2-2x6	2-2x6	2-2x8	2-2x8	2-2x10	2-2x10	2-2x12	3-2x10	3-2x10	3-2x12
	Ponderosa Pine Beam	2-2x6	2-2x6	2-2x8	2-2x10	2-2x10	2-2x12	2-2x12	3-2x12	3-2x12	Eng 5m	Eng 5m
	Corner Footing	9 7 6	10 8 7	10 9 7	11 9 8	12 10 9	13 10 9	14 11 10	14 12 10	15 12 10	15 13 11	16 13 11
Intermediate Footing		12 10 9	14 11 10	15 12 10	16 13 11	17 14 12	18 15 13	19 16 14	20 16 14	21 17 15	22 18 15	23 18 16
13'	Southern Pine Beam	1-2x6	2-2x6	2-2x6	2-2x8	2-2x8	2-2x10	2-2x10	2-2x12	3-2x10	3-2x12	3-2x12
	Ponderosa Pine Beam	2-2x6	2-2x6	2-2x8	2-2x10	2-2x10	2-2x12	2-2x12	3-2x12	3-2x12	Eng 5m	Eng 5m
	Corner Footing	9 7 8	10 8 7	11 9 8	12 10 8	13 10 9	13 11 9	14 12 10	15 12 10	15 13 11	16 13 11	17 14 12
Intermediate Footing		13 10 9	14 12 10	15 13 11	17 14 12	18 15 13	19 15 13	20 16 14	21 17 15	22 18 15	23 19 16	24 19 17
14'	Southern Pine Beam	1-2x6	2-2x6	2-2x6	2-2x8	2-2x10	2-2x10	2-2x12	3-2x10	3-2x12	3-2x12	3-2x12
	Ponderosa Pine Beam	2-2x6	2-2x8	2-2x8	2-2x10	2-2x12	3-2x10	3-2x12	3-2x12	Eng 5m	Eng 5m	Eng 5m
	Corner Footing	9 8 7	10 8 7	11 9 8	12 10 9	13 11 9	14 11 10	15 12 10	15 13 11	16 13 11	17 14 12	17 14 12
Intermediate Footing		13 11 9	15 12 10	16 13 11	17 14 12	18 15 13	20 16 14	21 17 15	22 18 15	23 18 16	24 19 17	24 20 17
15'	Southern Pine Beam	2-2x6	2-2x6	2-2x8	2-2x8	2-2x10	2-2x12	2-2x12	3-2x10	3-2x12	3-2x12	Eng 5m
	Ponderosa Pine Beam	2-2x6	2-2x8	2-2x8	2-2x10	3-2x10	3-2x10	3-2x12	3-2x12	Eng 5m	Eng 5m	Eng 5m
	Corner Footing	10 8 7	11 9 8	12 10 8	13 10 9	14 11 10	14 12 10	15 12 11	16 13 11	17 14 12	17 14 12	18 15 13
Intermediate Footing		14 11 10	15 12 11	17 14 12	18 15 13	19 16 14	20 17 14	21 17 15	22 18 16	23 19 17	24 20 17	25 21 18
16'	Southern Pine Beam	2-2x6	2-2x6	2-2x8	2-2x8	2-2x10	2-2x12	2-2x12	3-2x10	3-2x12	3-2x12	Eng 5m
	Ponderosa Pine Beam	2-2x6	2-2x8	2-2x10	2-2x10	3-2x10	3-2x10	3-2x12	3-2x12	Eng 5m	Eng 5m	Eng 5m
	Corner Footing	10 8 7	11 9 8	12 10 9	13 11 9	14 11 10	15 12 10	16 13 11	16 13 12	17 14 12	18 15 13	18 15 13
Intermediate Footing		14 11 10	16 13 11	17 14 12	18 15 13	20 16 14	21 17 15	22 18 16	23 19 16	24 20 17	25 21 18	26 21 18

Notes:

- Joist length is total length of joist, including any cantilevers.
- When joist extends (cantilevers) beyond support beam by 18" or more, add 1" to footing dimensions shown.
- Requirements for future 3-season porches or screen porches:
 - Increase corner footing size shown by 90%.
 - Increase center footing size shown by 55%.
 - Locate all footings at extremities of deck (no cantilevers).
 - Beam sizes indicated need not be altered.

4. All footing sizes above are base diameters (in inches) and are listed for THREE SOIL TYPES:



Corner Footing	10 8 7
Intermediate Footing	14 11 10

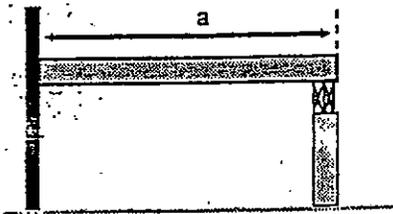
Joist Span

Based on No. 2 or better wood grades.
(Design Load = 40#LL + 10#DL, Deflection = L/360)

	Ponderosa Pine			Southern Pine			Western Cedar		
	12"OC	16"OC	24"OC	12"OC	16"OC	24"OC	12"OC	16"OC	24"OC
2x6	9-2	8-4	7-0	10-9	9-9	8-6	9-2	8-4	7-3
2x8	12-1	10-10	8-10	14-2	12-10	11-0	12-1	11-0	9-2
2x10	15-4	13-3	10-10	18-0	16-1	13-5	15-5	13-9	11-3
2x12	17-9	15-5	12-7	21-9	19-0	15-4	18-5	16-0	13-0

Sample Calculations for Using Joist Span, Beam Size and Footing Size Tables

CASE I SOLUTION:



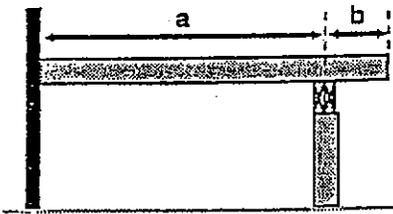
Refer to tables for joist, beam and footing size requirements.

Example: $a = 12'$; Post Spacing = 8'

Use the **Joist Span** table to find the acceptable joist sizes for a 12' span, 2x8s at 12" O.C., 2x10s at 16" O.C. or 2x12s at 24" O.C.

Use the **Beam and Footing Sizes** table and find the 8' post spacing column. With a 12' deck span, the beam may be either two 2x3s or two 2x10s, depending on wood used. Depending on the type of soil, the footing diameter at the base must be a minimum of 12", 10" or 9" for the corner post and 17", 14" or 12" for all intermediate posts.

CASE II SOLUTION:



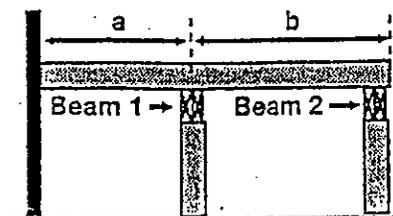
Use "a" to determine joist size and "a" + "b" to determine beam and footing sizes. The length of "b" is restricted by both the length of "a" and the size of the joists.

Example: $a = 8'$, $b = 2'$, Post Spacing = 10'

Refer to the **Joist Span** table. For an 8' joist span, either 2x8s at 24" O.C. or 2x6s at 16" O.C are acceptable.

For sizing the beam, use a joist length of 12' ($8' + 4'$) and a post spacing of 10'. The **Beam and Footing Sizes** table indicates that the beam may be either two 2x10s or two 2x12s, depending on wood used. Depending on the type of soil, the footing diameter at the base must be a minimum of 15", 12" or 11" for the corner post and 20", 17" or 15" for all intermediate posts. Note that because of the 2' cantilever all footing sizes were increased by 1" as required by footnote 2 at the end of the table.

CASE III SOLUTION:



Use "a" or "b", whichever is greater, to determine joist size. Use "a" + "b" to determine the size of Beam 1 and the post footing size for the posts supporting Beam 1. Use joist length "b" to determine both the size of Beam 2 and the post footing size for the posts supporting Beam 2.

Example: $a = 6'$, $b = 7'$, Post Spacing = 9'

Joist size is determined by using the longest span joist (7'). The **Joist Span** table indicates that 2x6s at 24" O.C. would be adequate for this span.

For Beam 1 and footings, use a joist length of 13' ($6' + 7'$) and a post spacing of 9'. The **Beam and Footing Sizes** table indicates that the beam may be two 2x10s or two 2x12s, depending on the wood used. Depending on the type of soil, the footing diameters for Beam 1 posts shall be 13", 11" or 9" for the corner (outside) post and 19", 15" or 13" for all intermediate posts. For Beam 2 and footings use a joist length of 7" and post spacing of 9'. The beam may be two 2x8s or two 2x10s, depending on wood used. Depending on the type of soil, the footing diameters for Beam 2 shall be 10", 8" or 7" for the corner posts, and 14", 11" or 10" for all intermediate posts.

DECKS

Guidelines for planning
the construction
of a deck.



Building Codes and Standards Division

408 Metro Square Building
121 East 7th Place
St. Paul, MN 55101-2181
651.296.4639
TTY: 800.627.3529
Fax: 651.297.1973

[www.buildingcodes.
admin.state.mn.us](http://www.buildingcodes.admin.state.mn.us)

www.mncodes.org

PERMITS

Building permits are required for all decks that are attached to the home or are 30 inches or more above grade. Decks and platforms not more than 30 inches above adjacent grade and not attached to a structure with frost footings do not require a building permit.

Decks and platforms are required to meet the land use requirements of the community's zoning code. Zoning questions should be directed to the local planning and zoning department. This is an important first step in the planning of any deck project.

PERMIT FEES

Permit fees are established by the municipality. The plan review is done by the building inspector in order to spot potential problems or pitfalls that may arise. The inspector may make notes on the plan for your use. The plan review and inspections are done to provide a reasonable degree of review and observation so the project will be successful, safe, and long-lasting. Actual permit costs can be obtained by calling your local Building Inspection Department with your estimated construction value.

Your Building Inspector will need a number of items. These may include an application for permit, site plan or survey (with specific setback information), and building plans. Examples of these are provided in the rest of this brochure. The inspector may inform you of potential problems or make suggestions. Safety will receive the greatest priority.

REQUIRED INSPECTIONS

(Verify with municipality)

1. **Footings:** After the holes are dug, but **PRIOR TO THE POURING OF CONCRETE!**
2. **Framing:** To be made after all framing, blocking, and bracing are in place and prior to covering the construction so it is accessible for inspection. This inspection can be completed at the time of the final inspection if all parts of the framing will be visible and accessible.
3. **Final:** To be made upon completion of the deck and finish grading.
4. **Other inspections:** In addition to the three inspections above, the inspector may make or require other code inspections, such as an electrical inspection, to ascertain compliance with the provisions of the code or to assist you with your questions or concerns during the construction process.

SETBACKS

Setbacks from property lines vary depending upon the city and zoning district your home is located in. Contact the Building or Planning Department in your community for the requirements in your location. This is an important first step in the planning for any deck project.

GENERAL BUILDING CODE REQUIREMENTS

- a. Footings must extend to frost depth (if attached to the house).
- b. Decks need to be designed for a 40-pound per square foot live load and balconies to a 60 pound per square foot live load. Decks exposed to the weather must be constructed of approved wood with natural resistance to decay such as redwood, cedar or treated wood, or other material (composite plastics, etc.) with prior approval of the building inspector.
- c. **Pressure-Treated Wood**
Recent changes have been made in the chemicals used in the manufacture of pressure-treated wood. Chromated copper arsenate, also known as CCA, is being phased out and the most common new treatments approved for outdoor use are Alkaline Copper Quaternary (ACQ) and Copper Azole. According to the lumber and fastener industry, the newer chemicals being used to treat the wood approved

DECKS *continued*

for outdoor use are considerably more corrosive than those previously treated with CCA and therefore require special fasteners, hangers, and greater care in the selection of materials that may come in contact with the wood. The fastener industry has indicated that some of the hangers and fasteners currently on the market may not perform with some of the new treatments.

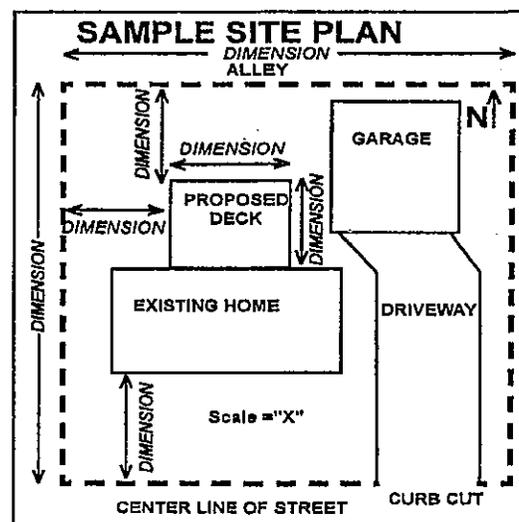
Designers, builders, and home owners will need to pay particular attention to the grade marks on the lumber, and verify that proper hardware (hangers, nails, brackets) are appropriate with the particular treatment of the lumber. This not only applies to decks utilizing these products but sill plates and posts as well. The code references the American Wood Preservers Association (AWPA), which has published information on this issue. Particular attention should also be made to the manufacturer's installation instructions for the hardware. Questions should be directed to your wood and fastener supplier or your local Building Official.

- d. Columns and posts in contact with the ground or embedded in concrete, earth or masonry must be of special pressure treated wood approved for ground contact.
- e. Cedar or redwood posts need an 8 inch separation from the ground.
- f. All decks, balconies or porches, open sides of landings and stairs which are more than 30 above grade or a floor below must be protected by a guard not less than 36 inches in height. Open guard and stair railings require intermediate rails of an ornamental pattern such that a sphere 4 inches in diameter cannot pass through.
- g. If a stairway is to be provided, it must be not less than 36 inches in width. Stairways may be constructed having an 8-inch maximum rise (height) and a 9-inch minimum run (length). The largest tread rise and tread run may not exceed the smallest corresponding tread rise or run by more than $\frac{3}{8}$ inch. Stairway illumination is required by the code..
- h. Handrails are required on all stairways having 4 or more risers. Handrails may not be less than $1\frac{1}{4}$ " nor more than $\frac{25}{8}$ " in cross sectional area. Top of handrail must be not less than 34 inches nor more than 38 inches above the nosing (front edge) of treads and they must be returned to a wall or post.
- i. The electrical code requires overhead power lines to be located a minimum 10 feet above decks and platforms. Existing lines may need to be raised if a new deck is to be installed beneath them.
- j. **Outside meters, wells, and septic systems.** When locating a deck care must be given to the location of existing gas and electric meters, wells, and septic systems. These may need to be relocated to allow for construction of the deck. Septic systems and wells may be difficult to relocate, requiring an alternative location for the deck. Prior to placement of any deck that will interfere with these devices, contact your local Building Inspector.
- k. **Outside water meter readers.** Some communities use a remote outside meter water meter-reading device that may need to be relocated to allow for construction of a deck. These devices must be relocated properly and may require special tools. Prior to placement of any deck, that will interfere with the operation or accessibility of the reader, contact you local Building Inspector or Water Department to obtain information and procedures on relocating these devices. Note: For specific code requirements, please contact your local Building Department.

PLANS: SITE, FLOOR, and ELEVATION

The following text and sample drawings show the minimum detail expected so the permit process can proceed smoothly. **TWO sets of each plan are required.** Plans do not need to be professionally drawn. Plans should include all of the information requested. The application for permit can be filled out at the time you drop off your plans.

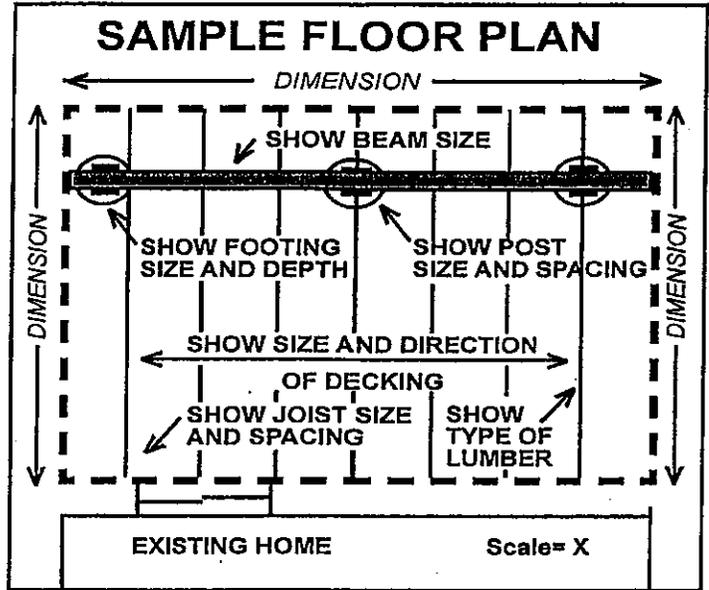
Certificate of Survey or Site Plan drawn to scale indicating the lot dimensions, the location and size of the existing structure(s), and the location and a size of the proposed structure. Indicate the setbacks from property lines of the existing and proposed structure(s). Including septic system area and wells if applicable.



DECKS *continued*

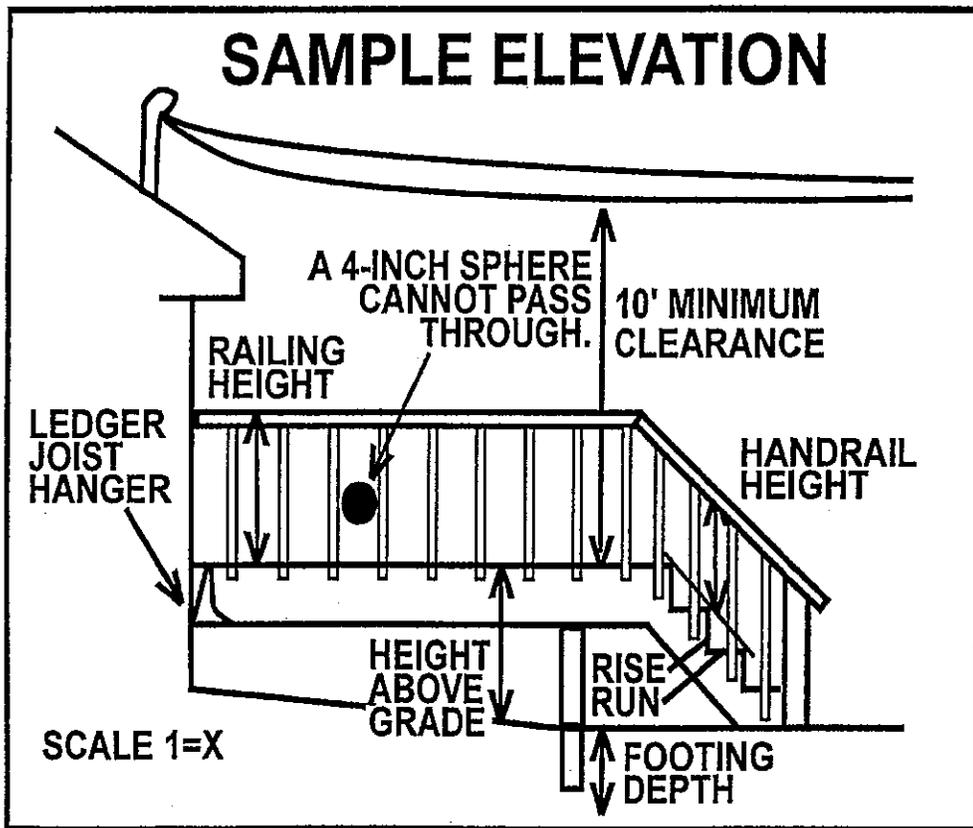
FLOOR PLAN

1. Proposed deck size.
2. Size and spacing of floor joists.
3. Size and type of decking material.
4. Size, type, location, and spacing of posts.
5. Size and type of beams.



ELEVATION PLAN

1. Height of structure from grade.
2. Size and depth of footings.
3. Guard height and spacing (if any).
4. Stairway rise/run and handrail height (if any).
5. Clearance of over-head wires (if applicable).



GOPHER STATE ONE CALL Call at least 2 full business days before you dig.
 1-651-454-0002 1-800-252-1156 www.gopherstateonecall.org

Contact your local building code official regarding specific code and permit requirements in your municipality or if you have any questions regarding information presented in this brochure.



The following is a portion of the statutes that regulate excavations in Minnesota. Municipalities should contact Gopher State One Call to obtain copies of the display and informational handouts that are required to be displayed. Metro area call: 651.454.0002, Greater Minnesota: 1.800.252.1166 or visit their web site at: www.gopherstateonecall.org

216D.02 Notice to excavator or operator.

Subdivision 1. Display and distribution. Local governmental units that issue permits for an activity involving excavation must continuously display an excavator's and operator's notice at the location where permits are applied for and obtained. An excavator and operator's notice and a copy of sections 216D.03 to 216D.07 must be furnished to each person obtaining a permit for excavation.

Subd. 2. Form. The notification center shall prescribe an excavator and operator's notice. The notice must inform excavators and operators of their obligations to comply with sections 216D.03 to 216D.07. The center shall furnish to local governmental units:

- (1) a copy of the notice and sections 216D.03 to 216D.07 in a form suitable for photocopying;
- (2) a copy of the display and distribution requirements under subdivision 1; and
- (3) the telephone number and mailing address of the notification center.

HIST: 1987 c 353 s 8

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Minnesota State Contractor License Law



Notice to Homeowners:
Be Sure Your Contractor is Licensed

Know Your Rights

The State of Minnesota recently adopted a statewide "Contractor and Remodeler License Law." This law is designed to protect the consumer by requiring that contractors be licensed with the State. Contractors must apply to the State, post a bond, and show proof of insurance and competency. The law gives homeowners reasonable assurance that they are dealing with a reputable, professional contractor, and a place they can call to get general contractor information.

Getting Information on a Contractor

Contractors, with a few exceptions, who contract with a homeowner to perform home construction, remodeling, or repair, must be licensed with the Minnesota Department of Commerce. Homeowners can call the Commerce Department Licensing Division at 1-800-657-3602, 651-296-2488 or visit the web site @ www.commerce.state.mn.us to obtain information on a specific contractor. Contractors must display their license number on their advertising and they must make it available to consumers. Building permits cannot be granted to contractors who are not properly licensed by the state.

Exceptions to Being Licensed

State law exempts contractors who have gross annual receipts from the construction business of less than \$15,000.00. Also exempt are specialty contractors who perform only one specialty skill.

Homeowner Rights if a Contractor is Not Licensed

If your contractor is required to be licensed by the State of Minnesota and you find that he/she is not, you may still have recourse under the law. Generally, the law provides that a contractor who is working in violation of the Minnesota State License Law has no lien rights and may not be able to enforce a contract signed with a homeowner. If you find yourself in this situation, you should consult with an attorney to get sound legal advice. You should never knowingly hire someone who is deliberately violating the State License Law.

Working on Your Own Home

You can obtain permits to do work on your own home. The License Law was written to insure a reasonable degree of protection for you as the consumer of construction services, not to discourage homeowners from doing work on their own property. For your safety, building permits are required for most construction projects.

For more information on State Licensing, contact the
Minnesota Department of Commerce at 800/657-3602 or 651/296-2594

